



RIVERSTONE RISE

BUILDING COVENANT

MAY 2024



Devine



Contents

Introduction	3	8. Landscape Design Requirements.....	9
1. Purpose of the Building Covenant	4	9. Right Way to Vary or Exclude Covenants.....	9
2. Use of Land	4	10. Typical Front Garden Plans.....	10
3. Design Approval Process	4	Planting Palette	13
4. Application Requirements	4	Appendix 1	
5. Construction Timeline Requirements ...	5	Design Standard Application Form	15
6. Design and Siting Requirements.....	5	Appendix 2	
7. Slope Sensitive Design ('Outlook' Lots)	8	Application Requirement Checklist	17

Places you'll love to call home

Devine is one of Australia's most trusted residential property developers. Our first consideration is always the area itself. At Devine we believe it is our responsibility, wherever possible, to protect and enhance existing natural assets.

Our work in this area has earned us awards for excellence but, more importantly, it helps preserve both the environment and the local flora and fauna.

Another focus is on offering a range of housing solutions to suit every family, big or small.

Our experienced urban designers incorporate community spaces, attractive streetscapes and landscaping, where residents can always feel safe.

Devine communities are masterplanned with design guidelines, covenants and quality controls in place. As well as urban design specialists, our team includes experienced architects and experts in housing energy efficiency.

Created with you in mind, Devine's communities are places you'll love to call home.

Riverstone Rise

Nestled on the picturesque banks of the Boyne River, between the Gladstone CBD and Tannum Sands, Riverstone Rise will bring a new concept in modern living to Gladstone.

As Gladstone's first truly masterplanned community, Riverstone Rise has been carefully designed to complement the laid-back Gladstone lifestyle while giving you state-of-the-art facilities and beautiful homes.

Within a stone's throw

Everything you need for a great lifestyle will be literally on your doorstep at Riverstone Rise. And because Riverstone Rise has been masterplanned from the beginning, these facilities will be delivered as the community needs them.

You'll be able to safely walk the kids to the community's future school. There are also plans for a childcare centre within walking distance.

The future town centre will feature a café, supermarket and specialty shops, providing your daily needs close to home.

The choice is yours

On completion, Riverstone Rise will include around 2900 home sites, giving every family ample choice of size, shape, views and location.

The community will include a selection of home sites with river views. All home sites are nestled in the beautiful, green surrounds of Riverstone Rise and make the most of the natural environment while giving you easy access to the latest facilities.

Paradise found

Coming home to Riverstone Rise, you'll feel like you've entered a leafy oasis the moment you pass through the sculpted entry way.

Everywhere you look in Riverstone Rise you'll see beautiful, green open spaces. There will be parks for relaxing, sports ovals for playing, winding hike and bike trails for stretching the legs, bbqs for relaxing with family and friends and playgrounds for the little ones.

Once you come home to Riverstone Rise, the tranquil atmosphere, clean air and open space will make it seem as if you're in a peaceful world of your own.

1. Purpose of the Building Covenant

This Building Covenant has been created to facilitate the design of a diverse community with the objective of providing high quality streetscapes and neighbourhoods. Riverstone Rise is a masterplanned residential community offering “contemporary living in a riverfront setting”.

The architectural theme for Riverstone Rise is “contemporary Queensland”. Purchasers are encouraged to utilise design principles that are appropriate to Central Queensland’s environment to capture light and breezes.

Through compliance with these design covenants, purchasers will be able to design their own unique home, whilst further enhancing, integrating and increasing the amenity of the community as a whole.

All dwellings must comply with this Building Covenant, however consideration may be given to dwellings that display architectural design merit whilst addressing the intent of the Building Covenant.

2. Use of Land

Each allotment of land in Riverstone Rise, unless otherwise specified elsewhere, shall be used for a single unit private dwelling and cannot be further subdivided.

3. Design Approval Process

Before undertaking any building work the owner must first obtain written approval from the Riverstone Rise Building Covenant Review Panel.

Step 1: Purchase allotment

Step 2: Design dwelling to comply with Building Covenant

Step 3: Submit documentation for Building Covenant assessment (in PDF format) via email addressed to qldcovenants@devine.com.au .

Step 4: Building Covenant Review Panel undertakes assessment of the submission. The panel will endeavour to assess and provide an approval to the applicant within ten business days.

Step 5: Written approval is issued by Building Covenant Review Panel. Where not suitably complying, the Building Covenant Review Panel will identify the items requiring further consideration. These items will need to be addressed and revised documentation re-submitted before approval can be issued.

Step 6: Builder/owner to lodge building documentation for local authority approval.

Step 7: Construction of dwelling commences in accordance with Building Covenant and local authority approval.

Step 8: Compliance inspection by Building Covenant Coordinator, during the construction period.

Step 9: Final Inspection by Building Covenant Coordinator following dwelling completion.

4. Application requirements

4.1 Completed Application Form and Checklist (Appendix 1)

4.2 Building Documentation
The following drawings must be provided:

Site Plan (1:200 scale) including:

- Street address including lot number
- Property boundaries and easements
- Finished floor and platform levels
- Building envelope (if applicable)
- Private open space
- North point
- Boundary setbacks (outer-most projection and wall dimensions)
- Building outline and extent of eaves or overhangs
- Site coverage (m²)
- Driveways – location, materials and finishes
- Height and construction of all fences
- Location of rainwater tank
- Location of refuse bins
- Proposed cut and fill plus retaining wall/batter detail
- Any structures including (but not limited to) outbuildings, sheds, pergolas, gazebos, pools etc.
- Surrounding / neighboring properties’ setbacks (if applicable)
- Construction waste containment location

Landscape Plan (1:200 scale) including:

- Fencing details
- Turfed and mulched areas
- Garden areas including plant pot sizes
- Letterbox detail
- Detail of works to be completed by owner after completion of construction.

Floor Plans (1:100 scale) including:

- Room names and areas
- Internal & external dimensions
- Location of meter box
- Location of hot water, gas services and meters

Elevations (1:100 scale) including:

- All sides of the building
- Indication of existing and excavated site levels
- Indication of proposed floor levels

- Proposed retaining walls or batters
- Location and extent of proposed materials
- Position of solar panels, external air conditioning units, clothesline and aerals
- Roof pitch, and overall building height
- Schedule detailing external colour selection

5. Construction Timeline Requirements

- 5.1 Commence Construction:** no later than 18 months from date of settlement.
- 5.2 Completion of Construction (Certificate of Occupancy):** no later than 18 months from commencement of construction.
- 5.3 Completion of Landscaping:** no later than 3 months from completion of construction, in accordance with the approved plans and Landscape Design Guidelines.
- 5.4 Installation of Window Coverings:** no later than 3 months from completion of construction and prior to occupation window coverings must be installed. Window coverings may include curtains, blinds and non reflective tinted films. Temporary window coverings will not be accepted.

6. Design and Siting Requirements

- 6.1 Diverse Streetscapes**
Façade design must differ from the next three properties either side of the proposed lot, as well as across the road.
- 6.2 Setbacks**
- The Riverstone Rise Plan Of Development should be read in conjunction with this covenant and details the approved setbacks for each lot type.
 - Setbacks are measured to the outermost projection of the home.
 - Corner Lots – The secondary frontage setbacks for all corner allotments with an area less than 600sqm is 3m except for Premium Villa Lots which have a 2m secondary frontage setback (subject to Council approval). Corner lots with an area of 600 sqm or greater must comply with the Queensland Development Code.
 - Building heights are to be a maximum of 2 storeys and must comply with local authority requirements.
 - Garages must be setback a minimum of 5.5m from the property boundary.
 - Garages must be setback a minimum of 0.75m behind the main building line.
 - Where a building envelope applies to an allotment (refer to the plan of development), the dwelling must be contained wholly within the building envelope.
 - Where an allotment is categorised as ‘built to boundary’, the dwelling must comply with the following requirements:

- a built to boundary allotment line tolerance of 0.2m is required to facilitate a fascia and gutter. No fencing to the boundary is permitted for that length of the built to boundary wall,
- No windows are permitted to the built to boundary wall,
- The maximum height of the built to boundary wall is 3.5m from ground level to the highest point on the wall or roof,
- The maximum length of a built to boundary wall is 15m.



Image 1

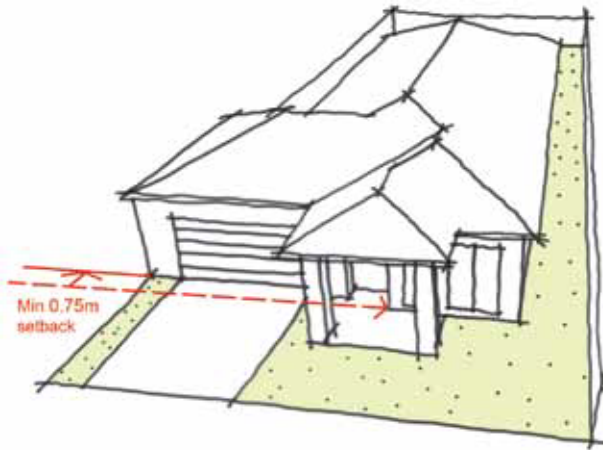


Image 2

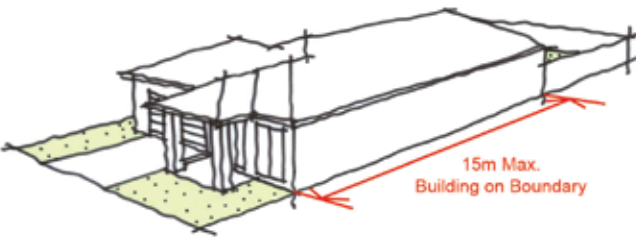


Image 3

6.3 Design Requirements

6.3.1 Private Open Space

All dwellings must provide a private outdoor living area within the allotment that meets the following requirements:

- adjacent to the indoor living area
- must be a minimum of 25m² with a minimum dimension of 4m.
- at least 12m² must be contained under the main roof area
- a slope no greater than 1 in 8

6.3.2 Neighbourhood Privacy

All proposed dwellings which overlook the private open space or windows of adjoining residential properties are to ensure they include adequate screening in their design. This is to protect the privacy of the adjoining neighbour's property. This privacy can be achieved through:

- Upper level windows and openings closer than 2m to a boundary overlooking an existing or proposed window are to be suitably screened; eg: batten screen, obscure glazing or locating window sills a minimum of 1.5m above the upper floor level.
- Ground floor windows and openings should be suitably screened by fencing to 1.8m in height (for side and rear boundaries only), or with dense mature landscaping.

6.3.3 Car Accommodation

All homes must provide accommodation for at least two cars, which must be enclosed and integrated into the design of the dwelling and constructed of the same materials.

- Carports are not permitted
- Roller doors are not permitted
- Garage doors must be sectional type

6.4 External Finishes, Materials and Colours

Materials & Colours Schedule

The external materials and finishes must be described in detail, including the manufacturer/brand, profile/ model and colour for all external surfaces. External colour schemes should be of earthy tones. Feature highlights and accent colours are allowable, however bold/bright colours are not to be used as main wall colours.

The front façade of the home must include a minimum of three different materials. The 'third' material may include, feature garage doors ie. timber look or other 'non standard' panel doors such as polycarbonate. Windows, doors, fascia and gutters are excluded as a 'third material'.

External Wall Materials

The following external wall materials are preferred:

MATERIAL	DESCRIPTION
Face brick	Where face brick is used, the façade must incorporate a feature made of a different material to give the façade interest and street appeal (e.g. entry portico, light weight cladding, render, decorative stonework, large quality windows with hoods etc.) Note that double-height brick will not be accepted.
Masonry	Render and painted finish. All rendered facades must continue this finish around sides to at least 1.5m back from the corner of the dwelling. If the allotment is a corner lot, the rendered façade must be continued along the secondary frontage.
Cladding	Lightweight cladding such as mini-orb, weatherboard, or fibre cement sheeting shall not make up more than 50% of the primary and secondary frontage external wall materials unless demonstrating architectural merit.

6.5 Roofing

- Roof pitch must be 22° minimum for gabled and hipped roof forms.
- Skillion roofs must be a minimum 10° pitch. Flat or curved forms will be assessed on strong architectural merit.
- It is preferred that metal trim is used in lieu of concrete fascia and barge capping tiles.
- Single hip or single gable roof forms to the front façade will not be approved.
- Finials, vents, or other colonial roof mounted adornments will not be approved.

MATERIAL	DESCRIPTION
Roofs	Roofs must be clad in non-reflective Colorbond or similar finished profiled metal roofing or slimline profile concrete tile.
Eaves	Eaves are to be incorporated into the design of the dwelling and are to be a minimum of 450mm overhang from the wall (excluding fascia and gutter) except build to boundary walls. Larger eaves are encouraged.

6.6 Corner Allotment Requirements

All corner allotments must address the secondary frontage (side street) by utilising design elements of the primary façade. These include, but are not limited to, roof and wall projections, piers, porticos, pergolas, shading devices and roof form. As a minimum, the design must incorporate roof and wall articulation to the secondary frontage.

Services (e.g. meter box / gas meter) are to be kept off the corner treatment where possible. If this is not possible, the services are to be screened in materials & finished to complement the style & finish of the façade of the home. Any proposed screening should be detailed in the Building Documentation. The meters should be painted to blend into the surrounding wall material.

Any design proposal which does not strictly comply with the parameters outlined above will be assessed on architectural merit.

6.7 Fencing

Rear and side boundary fences must be installed to a height of 1.8m and be of good-neighbour-type (see details). Side boundary fences must finish behind the building line. (Refer Image 4)

Fencing to the secondary frontage on corner allotments must commence behind the secondary frontage corner treatment and be constructed using one of the following alternatives:

- Rendered masonry piers with timber batten infills or powder-coated aluminium batten infills that provide transparency, or
- Be of good-neighbour-type articulated to provide planting alcoves, or
- Horizontal batten-style construction using powder-coated aluminum or painted or stained timber.

Fence returns i.e. 'wing' fences between the side boundaries and the dwelling are to be a maximum height of 1.8m and constructed using horizontal battens in either painted or stained timber or powder-coated aluminium. Alternatively vertical powder-coated black pool-type fencing is acceptable. Gates are to be incorporated into this as required.

Fencing forward of the front building line is not permitted unless required by law.

Fences erected by the developer shall not be removed or altered by the owners.

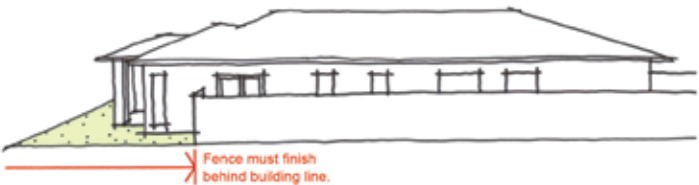


Image 4

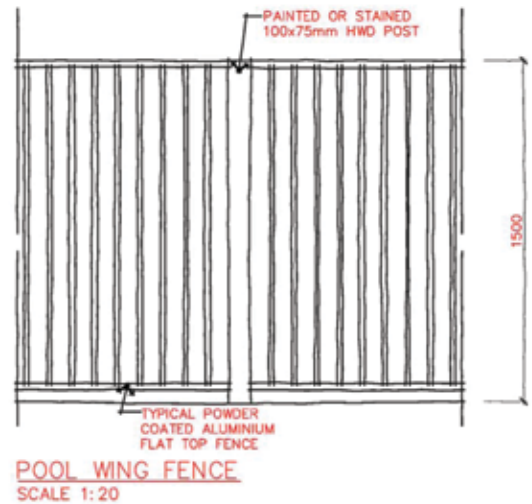


Image 5

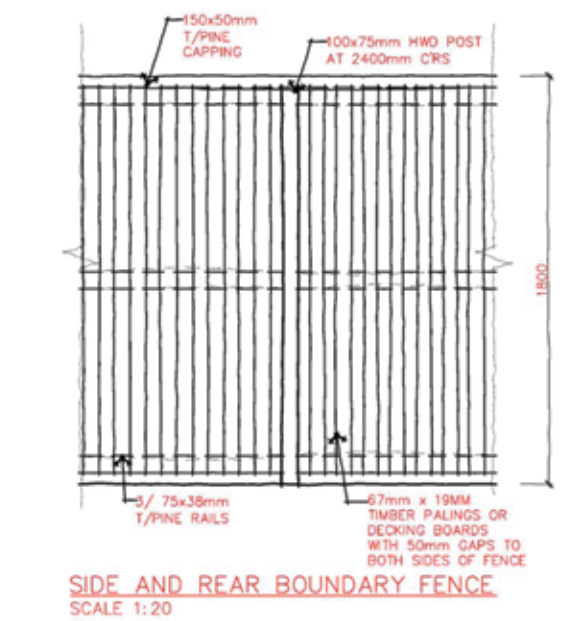


Image 6

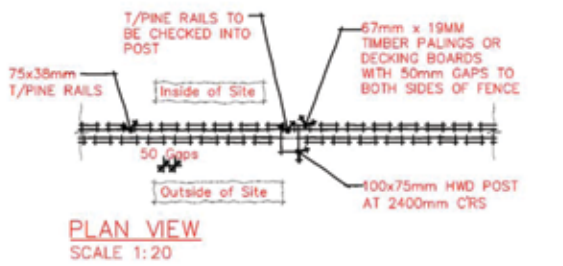


Image 7

6.8 Entry Structures
An entry structure/feature is required to clearly identify the main entry to the dwelling.

6.9 Window Design
Aluminum sliding doors are not permitted where they are visible from either primary or secondary street frontages (sliding doors may be permitted on the secondary frontage if behind the boundary fence).

Aluminium “diamond” pattern security screens are not permitted where visible from either primary or secondary street frontages.



Image 8

6.10 Infill Panels
Infill panels are not permitted above window and door openings on facades facing the primary or secondary street frontages. These panels must be finished in keeping with the overall architectural style and balance of the façade of the dwelling.

6.11 Driveway
Driveways and paths must complement the dwelling and landscape design. Permissible types of driveways include:

- Exposed aggregate.
- Coloured concrete in ‘earthy’ tones.
- Concrete and clay pavers laid over a concrete base (laying pavers on compacted road base will not be permitted).

Plain concrete, painted concrete, stenciled concrete, asphalt driveways and car tracks are not permitted.

Only one driveway per detached dwelling is permitted.

6.12 Outdoor Structures
Outdoor structures include, but are not limited to:

6.12.1 Garden sheds
Garden sheds and lawn lockers are to be a maximum size of 4m x 4m x 2.4m high and be of Colorbond steel or similar, be consistent in colour to dwelling and located away from the street and public view.

6.12.2 Large sheds
Sheds larger than 4m x 4m x 2.4m must be consistent in colour to the dwelling and be reflective of the same style of construction. Such outbuildings must be constructed to the rear of the dwelling and comply with Council standards.

6.12.3 Temporary structures
No temporary structures are to be placed or stored on the property. These temporary structures include, but are not limited to, shipping containers and temporary storage sheds.

6.12.4 Letter Boxes

- Must be substantial, constructed in face brick, rendered masonry or other material with a rendered finish and be consistent in colour to the dwelling.
- Letter boxes mounted on poles are not permitted

6.13 Service Locations

- Meter boxes must be painted to match the surrounding wall colour.
- Hot water tanks and rainwater tanks must be screened from view from adjacent streets.
- Solar hot water tanks must not be roof mounted and not visible from adjacent streets.
- Air conditioners must not be visible from the adjacent streets & be installed at ground level.
- Satellite dishes and the like are not permitted, due to provision of fibre-optic services.
- Solar hot water panels and photovoltaic panels must not be installed to the front elevation, but are accepted on all other elevations (including secondary frontage provided they are mounted at the same pitch as the roof).
- Refuse bins must not be stored where visible from the street.

6.14 Fibre-to-the-Home
Telephone and internet services to each home at Riverstone Rise will be provided by a high speed fibre-optic network in accordance with the Australian government’s Fibre in New Developments Policy. It is the responsibility of the owner and the builder to adhere to the specifications for the in-home wiring and related broadband infrastructure in order to be able to connect phone and internet services once the home is complete. It is important that your builder is aware of these requirements. Details can be obtained from <http://www.nbnco.com.au/>

7. Slope Sensitive Design (‘Outlook’ Lots)

- Allotments described as ‘Outlook’ Lots are nominated for slope sensitive design and shall incorporate retaining walls into the dwelling design.
- Slope sensitive design for housing is a design that minimises earthworks and may include, but not be limited to, pole houses, split level dwellings and dwellings with suspended floors which overlay the natural contours.
- Decorative treatments, such as painted timber battens and landscaping must be used to screen the under floor and service areas of the residence.
- Upper level windows and openings closer than 2m to a boundary overlooking an existing or proposed window are to be suitably screened.

8. Landscape Design Requirements

Each property shall have an appropriately designed garden that complements the dwelling design.

Front yards to be maintained to an acceptable level by the owner. Failing this, the developer will rectify and the cost will be reimbursed by the owner as a debt due and payable.

Vacant lots to be maintained by owner (weeds, grass max 200mm high), and kept cleared and free of rubbish. Failing this, the developer will rectify and the cost will be reimbursed by the owner as a debt due and payable.

8.1 Minimum Landscape Requirements for Front Yards

The minimum requirements for landscaping of front yards (area between the dwelling front wall and back of kerb (to the street) are proposed as follows:

- Softscape finishes (a combination of turf and planting areas) shall make up at least 60% of the front yard area).
- All planting areas are to incorporate minimum 200mm depth imported topsoil and 100mm depth weed free organic mulch.
- All grassed areas are to be turfed with weed free A-grade green couch or similar.
- All planting areas adjoining grassed areas are to be edged using timber edging, concrete edging or similar approved.
- Use of decorative stones (pebbles, aggregates, etc) is encouraged. Plain road base type material including crushed rock is not permitted.
- Nature strips (on both the primary and secondary street frontages) are to be turfed by the owner.

The minimum required planting areas and plant material to be installed for the different lot types is as follows:

ITEM	PREMIUM VILLA LOT	COURTYARD LOT	PREMIUM COURTYARD LOT	TRADITIONAL & DRESS CIRCLE LOTS	OUTLOOK LOT
NOTE: Refer to Approved Plant Palette for species requirements.					
Minimum Planting Area (m²)	20	20	25	35	45
Advanced Tree – 45L pot size (1800 high x 800 wide)	1	1	1	1	2
Advanced Tree – 25L pot size (1200 high x 600 wide)	1	1	2	2	4
Shrubs – 200mm pot size (600 high x 300 wide)	6	6	10	12	15
Ground Covers – 140mm pot size (varies)	20	20	25	30	45

8.2 Retaining Walls

- No retaining wall shall be greater than 1m high.
- Where greater heights are needed walls shall be stepped to a maximum combined height of 1.8m.
- Acceptable retaining wall materials include boulders, masonry and timber or concrete sleepers.
- Walls shall be screened with landscaping.
- Kopper log retaining walls are not permitted.

9. Right to Vary or Exclude Covenant(s)

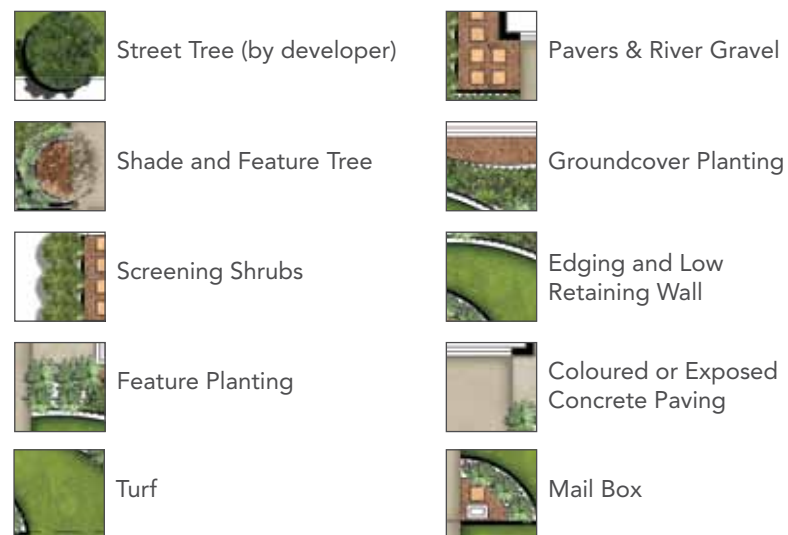
Riverstone Rise reserves the right at its discretion to vary or exclude any of the requirements under this Building Covenant. As noted throughout this document, any design proposal which does not strictly comply with the parameters outlined may be assessed on architectural merit.



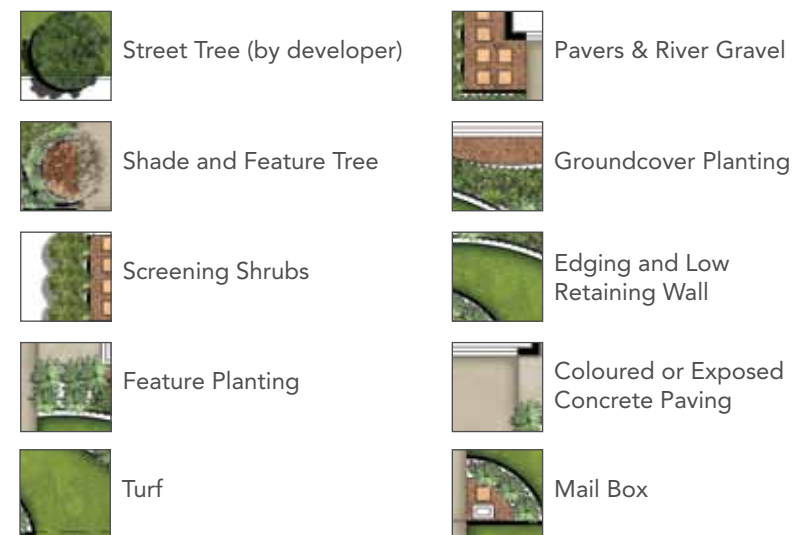
Approx. 15m FRONTAGE



Approx. 20m FRONTAGE



Refer to Covenant Guidelines and suggested Planting Palette for additional information



Refer to Covenant Guidelines and suggested Planting Palette for additional information



CORNER LOT



Street Tree (by developer)



Shade and Feature Tree



Screening Shrubs



Feature Planting



Turf



Pavers & River Gravel



Groundcover Planting



Edging and Low Retaining Wall



Coloured or Exposed Concrete Paving



Mail Box

Refer to Covenant Guidelines and suggested Planting Palette for additional information

RIVERSTONE RISE FRONT YARDS – SUGGESTED PLANTING PALETTE

The following species are predominantly native species and non-invasive exotic plants suitable to the site theming and climate. Proposed alternative selections may be confirmed with the developer subject to nursery availability etc.

SPECIES OPTIONS	COMMON NAMES
LARGER SHADE TREES	
BRACHYCHITON acerifolius	"Flame Tree"
BRACHYCHITON populneus	"Kurrajong"
CASSIA fistula x javanica	"Cassia Rainbow Shower"
DELONIX reginae	"Poinciana"
SYZYGium australe	"Lilly Pilly"
WATERHOUSEA floribunda	"Weeping Lilly Pilly"
SMALLER SCREEN AND FEATURE TREES	
BACKHOUSIA citriodora	"Lemon scented Myrtle"
BUCKINGHAMIANA celcissima	"Ivory Curl Tree"
CUPANIOPSIS anacardiodes	"Tuckeroo"
ELAEOCARPUS eumundi	"Eumundi Quandong"
ELAEOCARPUS reticulatus	"Blueberry Ash"
EUCALYPTUS "Summer Red"	"Eucalyptus Cultivar"
GREVILLEA baileyana	"White Oak"
PANDANUS tectorius	"Screw Pine"
SYZYGium leuhmanii	"Riberry"
XANTHOSTEMON chrysanthus	"Golden Penda"
SHRUBS AND SCREENING	
ALPINEA zerumbet	"Variegated Ginger"
BAMBUSA multiplex	"Clumping (non-running) Bamboo Species"
CALLISTEMON Cultivars	"Bottlebrush"
LEPTOSPERMUM Cardwell Pink / Pacific Beauty	"Tea Tree cultivar"
MELALEUCA "Claret Tops"	"Claret Top"
METROSIDEROS thomasi	"New Zealand Christmas Bush"
SYZYGium "Cascade"	"Lilly Pilly Cultivar"
SYZYGium "Elite"	"Lilly Pilly Cultivar"
XANTHOSTEMON verticillatus	"Cream Dancer"
FEATURE PLANTS	
CORDYLINe cultivars	"Palm Lilly"
CRINUM pedunculatum	"Swamp Lilly"
DORYANTHESE excelsa	"Gynea lily"
FURCRAEA foetida	"Variegated Mauritius Hemp"
STRELITZEA reginae	"Bird of Paradise"
YUCCA elephantipes	"Yucca"
GROUNDCOVERS AND CLUMPING PLANTS	
AUSTROMYRTUS dulcis	"Midgen Berry"
CALLISTEMON "Little John"	"Dwarf Bottlebrush Cultivar"
DIETES bicolor	"Fortnight Lily"
GREVILLEA "Cooroora Cascade"	"Prostrate Grevillea"
HEMEROCALIS aurantica	"Day Lilly"
HIBBERTIA scandens	"Snakevine"
LIRIOPE "Evergreen Giant"	"Giant Mondo"
LOMANDRA hystrix	"Creek Mat-rush"
MELALEUCA thymifolia	"Thyme Honey Myrtle"
MYOPORUM ellipticum	"Coastal Myoporum"
NANDINA domestica "Nana"	"Dwarf Nandina"
TULBAGHIA violacea	"Society Garlic"
ZOYSIA tenuifolia	"Temple Grass"



BRACHYCHITON populneus



CASSIA fistula x javanica



WATERHOUSEA floribunda



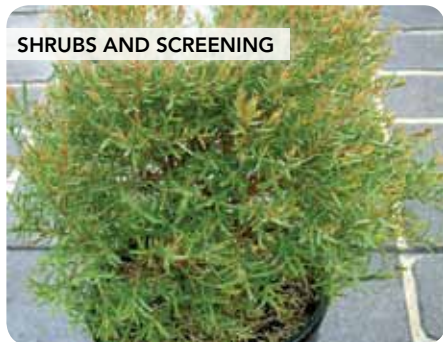
CUPANIOPSIS anacardioides



EUCALYPTUS "Summer Red"



GREVILLEA baileyana



MELALEUCA "Claret Tops"



SYZYGIUM "Cascade"



XANTHOSTEMON verticillatus



CORDYLINE cultivars



DORYANTHESE excelsa



STRELITZEA reginae



CALLISTEMON "Little John"



LIRIOPE "Evergreen Giant"



TULBAGHIA violacea

APPENDIX 1 Design Standard Application Form

Allotment Details

Lot number _____ Street _____ Precinct _____ Suburb _____

Owner Details

Name _____

Mailing Address _____

Phone BH _____ Mobile _____

Email _____

Builder Details

Representative _____ Builder Ref _____

Company _____

Mailing Address _____

Phone BH _____ Mobile _____

Email _____

Design Details

House Type _____ (If applicable)

Façade Type _____ (If applicable)

Has the house been modified in any way from the standard builders plan for this house type and façade?

☐ Yes ☐ No ☐ Unsure

Submissions

Submissions may be electronically provided to:

Email: qldcovenants@devine.com.au

Please ensure the submission includes all of the following documents:

Attachments

- ☐ Application checklist (Appendix 2)
- ☐ 1 copy of site plan
- ☐ 1 copy of full set of building plans including floor plan, roof plan and elevations
- ☐ 1 copy of materials and colour schedule
- ☐ 1 copy of written statement of sustainability initiatives/features that have been incorporated into the design and construction of the home.

I/we certify that the information in the attached application is a true and accurate representation of the home I/we intend to construct. In the event that changes are made to the proposed plans, I/we undertake to resubmit this application for approval of such changes.

Signed _____ Date _____

APPENDIX 2

Application Requirements Checklist

Site Plan (1:200 scale):

- ☐ Street address including lot number
- ☐ Property boundaries and easements
- ☐ Finished floor and platform levels
- ☐ Building envelope (if applicable)
- ☐ Private open space
- ☐ North point
- ☐ Boundary setbacks (outer-most projection and wall dimensions)
- ☐ Building outline and extent of eaves or overhangs
- ☐ Site coverage (m²)
- ☐ Driveways – location, materials and finishes
- ☐ Height and construction of all fences
- ☐ Location of rainwater tank
- ☐ Location of refuse bins
- ☐ Proposed cut and fill plus retaining wall/batter detail
- ☐ Any structures including (but not limited to) outbuildings, sheds, pergolas, gazebos, pools etc.
- ☐ Surrounding / neighboring properties setbacks (if applicable)
- ☐ Construction waste containment location

Landscape Plan (1:200 scale)

- ☐ Fencing details
- ☐ Turfed and mulched areas
- ☐ Garden areas including plant pot sizes
- ☐ Letterbox details
- ☐ Details of works to be completed by Owner after completion of construction.

Floor Plans (1:100 scale)

- ☐ Room names and areas
- ☐ Internal & external dimensions
- ☐ Location of meter box
- ☐ Location of hot water, gas services and meters

Elevations (1:100 scale)

- ☐ All sides of the building
- ☐ Indication of existing and excavated site levels
- ☐ Indication of proposed floor
- ☐ Proposed retaining walls or batters
- ☐ Location and extent of proposed materials
- ☐ Position of solar panels, external air conditioning units, clothesline and aerals
- ☐ Roof pitch, and overall building height
- ☐ Schedule detailing external colour selection
- ☐ Materials and colours schedule

NOTE: Failure to send a copy of the above documents, or provide adequate details, may delay the approval process.



Notes

This image shows a single sheet of white paper with horizontal ruling lines. The lines are evenly spaced and run across the width of the page. There are no margins, text, or other markings on the paper.



RIVERSTONE RISE

SALES AND INFORMATION CENTRE

33 Tulipwood Circuit, Boyne Island, QLD 4680
Call **13 13 63** or visit riverstonerise.com.au

3819679/0612



Devine