

# **ZONE OF PUBLIC PROTECTION PLAN (ZPPP)**

**July 03, 2023**

# PURPOSE OF ZPPP

- The ***Sole*** purpose of ZPPP is obtaining a ***license agreement*** with the affected neighbors
- It is **NOT** meant as a replacement of the safety plan that is prepared by the contractor
- License agreement becomes necessary if the **Line of Exposure (h/2 +7)** affects privately or publicly owned properties
- Streets and Sidewalks **DO NOT** require license agreement.

# PROJECT TYPES

- **Building Envelope: ZPPP will be required for all Projects**
- **Mechanical/Other Projects Requiring Overhead Installation:**
  - Safety Unit shall be consulted first. It is possible that controlled access may resolve the issue, otherwise,
  - ZPPP maybe required
- **Trenching for Water/Gas/Electrical through JOP/Parkland: May require license. **ZPPP shall NOT** be required.**

# CM ACCEPTANCE

- CM shall send an acceptance email within **5 working days** from the date the revised ZPPP was sent to them.
- If such email is not received within the specified time, SPO and subsequently, CPO should be contacted. The date of “Acceptance by CM” is tracked on the PPM report.

# RESPONSIBILITY

## A&E PREPARES THE ZPPP

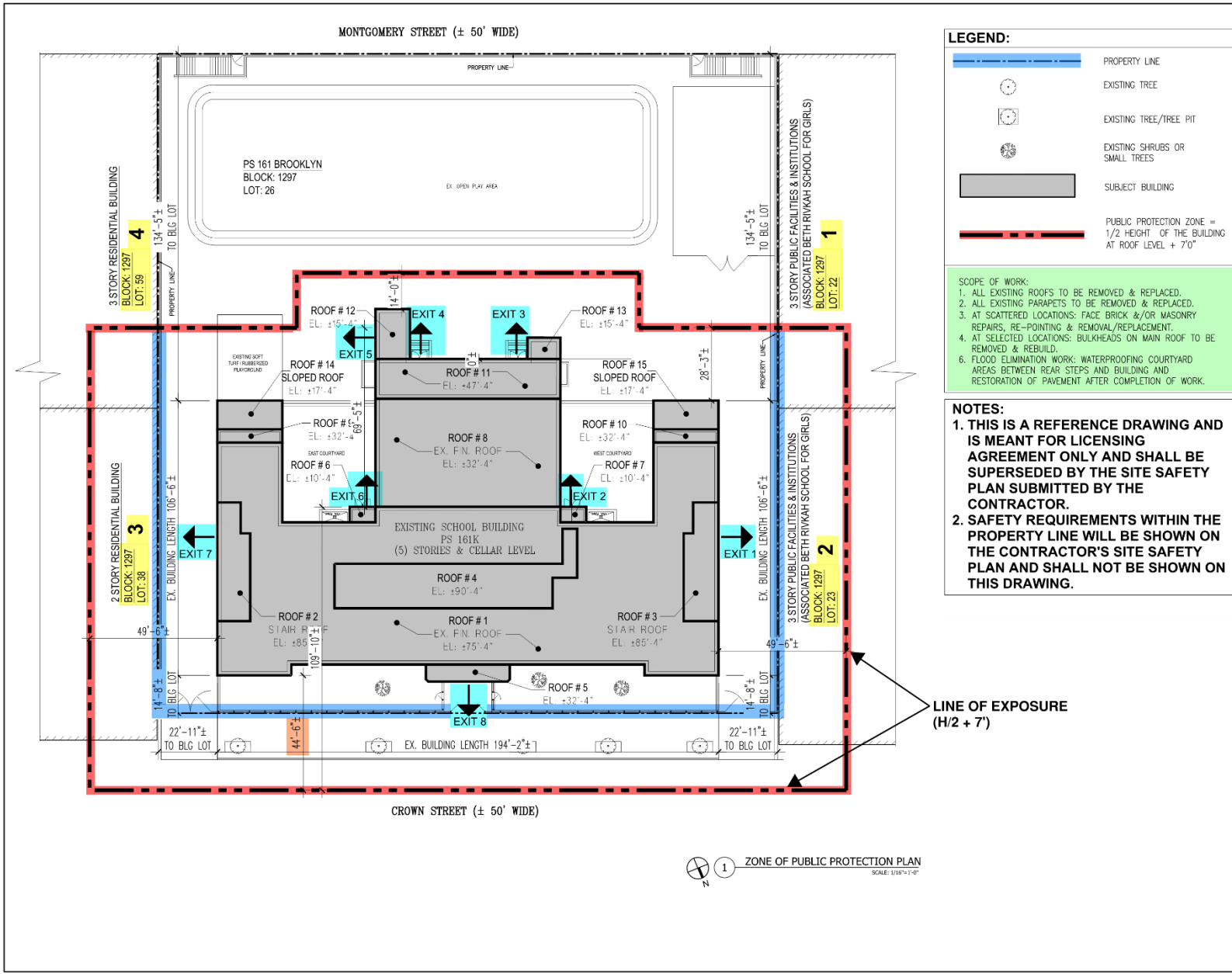
### Timing

- **CIP:** At SCOPE or at the onset of DESIGN PHASE
- **Capacity:** At onset of 30% (DD) phase
- **If DPR is involved: At the scope Phase**

### Content

- Adjacent properties and school:
  - each identified by block/lot or address ***and***
  - each identified as Property # 1, etc for License Agreement Checklist
- Adjacent JOP or other property of DPR identified
- A line showing the zone of public protection around the building will be drawn at  $[(h/2)+w]$  from the face of the building, where:
  - $h$  = height of the building at roof level
  - $w$  = width of scaffold (7' – as recommended by Safety Unit)
- Distance from the building to the street curbs and lot lines
- All exits, including fire/emergency exits
- A brief scope of work of the project
- Standard Detail “Zone of Public Protection-Sections” (for use by the Safety Unit)

# TEMPLATES



**LEGEND:**

- PROPERTY LINE
- EXISTING TREE
- EXISTING TREE/TREE PIT
- EXISTING SHRUBS OR SMALL TREES
- SUBJECT BUILDING
- PUBLIC PROTECTION ZONE = 1/2 HEIGHT OF THE BUILDING AT ROOF LEVEL + 7'0"

**SCOPE OF WORK:**

- ALL EXISTING ROOFS TO BE REMOVED & REPLACED.
- ALL EXISTING PARAPETS TO BE REMOVED & REPLACED.
- AT SCATTERED LOCATIONS: FACE BRICK &/OR MASONRY REPAIRS, RE-POINTING & REMOVAL/REPLACEMENT.
- AT SELECTED LOCATIONS: BULKHEADS ON MAIN ROOF TO BE REMOVED & REBUILD.
- FLOOD ELIMINATION WORK: WATERPROOFING COURTYARD AREAS BETWEEN REAR STEPS AND BUILDING AND RESTORATION OF PAVEMENT AFTER COMPLETION OF WORK.

**NOTES:**

- THIS IS A REFERENCE DRAWING AND IS MEANT FOR LICENSING AGREEMENT ONLY AND SHALL BE SUPERSEDED BY THE SITE SAFETY PLAN SUBMITTED BY THE CONTRACTOR.**
- SAFETY REQUIREMENTS WITHIN THE PROPERTY LINE WILL BE SHOWN ON THE CONTRACTOR'S SITE SAFETY PLAN AND SHALL NOT BE SHOWN ON THIS DRAWING.**

President & CEO  
A. Nino Kubota

Board of Trustees  
Chairman: Marco Rios Porter, Chairman  
Peter McGee  
Emily A. Yousoof

**SCA**  
School Construction Authority

Architecture & Engineering  
Dominick DeAngelis, AIA, Vice President  
Alison DeFronzo, P.E., Senior Director, Design Consultant Management  
Mario A. Gomez, P.E., LEED A.P., Senior Director, A/E In-House Design  
George S. Rowley, P.E., LEED A.P., Senior Director, Technical Standards  
Shelby Spaul-Thomas, Director, Operations Support

Consultants:  
NYC SCHOOL CONSTRUCTION AUTHORITY  
A/E IN-HOUSE DESIGN STUDIO  
30-30 THOMSON AVENUE, 2ND FLOOR  
LONG ISLAND CITY, N.Y. 11101

**NOTE:** Drawing may be printed at reduced scale  
It is the responsibility of the user to determine the scale of the drawing for any project. It is not intended to be used in any way unless such person is acting under the direction of a licensed professional engineer, and the engineer stamps such changes.

No.	Date	Revision

Key Plan:  
MONTGOMERY STREET  
CROWN STREET  
Block # 1297 Lot # 26

SCA Design Manager:	MARK VILASIN, R.A.
Project Architect/Engineer:	MARK VILASIN, R.A.
Discipline Lead:	MARK VILASIN, R.A.
Designer:	C. ZHAO & J. SHAH
Drawn by:	CHING ZHAO
Checked by:	MARK VILASIN, R.A.
Design No.:	D020764
Facility Code:	K161
Date:	02/19/2022

Project:  
P.S. 161, BROOKLYN  
ROOFS, PARAPETS, EXTERIOR MASONRY

Address:  
333 CROWN ST.  
BROOKLYN, NY 11225

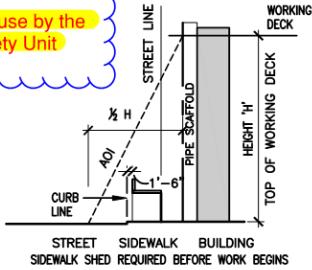
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ZONE OF PUBLIC PROTECTION PLAN  
FOR REFERENCE ONLY

DOB ALT 2 # XXXXXXXXX

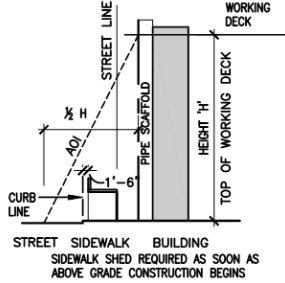
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**R001.00**

Sheets in Contract Set:  
XX of XXX

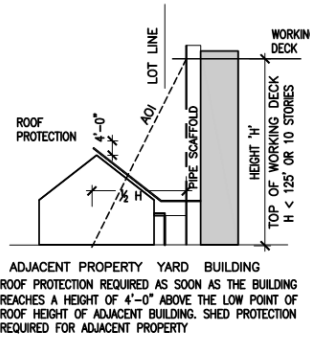
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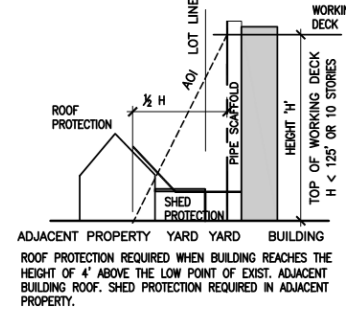
SECTION A  
EXISTING BUILDING FACADE REPAIR



SECTION B  
NEW CONSTRUCTION

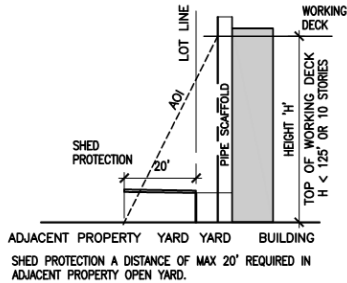


SECTION C  
ADJACENT BUILDING < 20' FROM NEW BUILDING WALL

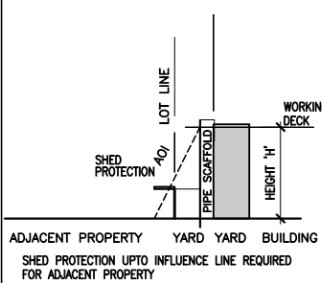


SECTION D  
ADJACENT BUILDING > 20' FROM NEW BUILDING WALL

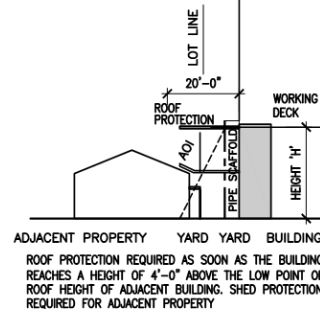
FOR REFERENCE ONLY



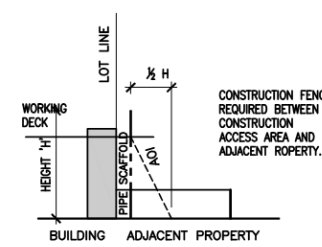
SECTION E  
YARD OF ADJACENT PROPERTY



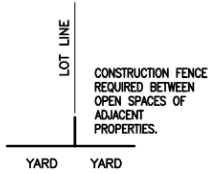
SECTION F  
YARD OF ADJACENT PROPERTY



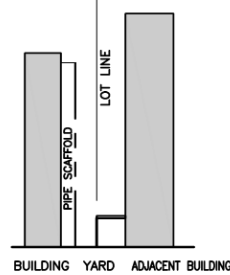
SECTION G  
ADJACENT BUILDING < 20' FROM NEW BUILDING WALL



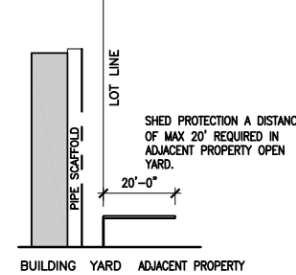
SECTION H



SECTION I



SECTION J  
ADJACENT BUILDING < 20' FROM EXISTING FACADE



SECTION K  
YARD OF ADJACENT BUILDING < 20' FROM EXISTING BUILDING FACADE

NOTE: Drawing may be printed at reduced scale. Refer to graphic scale.



Notes to Designer:

- THIS DRAWING IS TO BE USED TO HELP CREATE THE "ZONE OF PUBLIC PROTECTION DRAWINGS" AND APPLICABLE SECTIONS AS MODIFIED FOR THE PROJECT ARE TO BE INCLUDED ON THE DRAWINGS. THE ZONE OF PUBLIC PROTECTION DRAWING(S) IS TO BE BASED ON ACTUAL PROJECT CONDITIONS AND INCLUDED ON THE CONTRACT DOCUMENTS AS PART OF "R" SERIES DRAWINGS FOR REFERENCE ONLY. DESIGNER TO PREPARE DRAWINGS EARLY IN PROJECT TO PROVIDE TO PROJECT OFFICER TO ASSIST IN OBTAINING LICENSE AGREEMENTS. DRAWINGS ARE TO BE PROVIDED TO THE SCA SAFETY UNIT FOR REVIEW AND CORRECTION PRIOR TO GIVING TO SCA PROJECT OFFICER.
- DESIGNER TO INDICATE OVERHEAD UTILITY LINES ON APPLICABLE SECTION.
- FOR CONSTRUCTION OF NEW BUILDINGS OR ADDITIONS, DESIGNER TO SHOW IMMEDIATELY ADJACENT PROPERTIES' CHIMNEY LOCATIONS ON THE PLAN AND DIMENSION THE CHIMNEY ON SECTIONS WITH APPROXIMATE HEIGHT. IF CHIMNEY IS WITHIN REQUIRED DISTANCE SUCH THAT IT MUST BE RAISED PER THE MECHANICAL OR FUEL GAS CODE, NOTIFY SCA CONSTRUCTION MANAGEMENT TO START LICENSE AGREEMENTS AND DISCUSS DESIGN OPTIONS FOR RAISING THE CHIMNEY.
- USE THIS STANDARD DETAIL IN CONJUNCTION WITH STANDARD DETAIL 0100031g.
- HIGHEST WORKING DECK IS ASSUMED TO BE 3'-6" BELOW THE TOP OF ADJACENT PARAPET/EXTERIOR WALL.

Code References:

OSHA 1926  
2014 NYC BUILDING CODE, CHAPTER 33

Related Work Specified Elsewhere:


NYSCA STANDARD DETAILS

File Number: 0100031b

Detail Name:

ZONE OF PUBLIC PROTECTION SECTIONS

Issue: 03/13/20	Rev: 03/15/21	Rev #:	1

# SITE VISIT

## Timing

Within **TWO WEEKS** following receipt of ZPPP.

## Attendees

- **Mandatory:** Safety, CM, and A&E
- Optional Attendee: External Affairs (“EA”)

**CM arranges the meetings AND places it in outlook**  
**If Parks is involved (JOP or building on DPR’s Land):**  
CM and possibly safety will be meeting Parks in a follow up meeting. **A&E does not need to be there.**

## **Specific observations to be made at site visit**

- Compare ZPP to ensure that it accurately reflects actual conditions at adjoining properties (e.g., exits, skylights, etc.) to be considered when identifying scope and type of protections needed for adjoining properties.
- Can the project be phased to minimize duration of protections on adjoining properties?
- Are alternate means of protection feasible if adjoining property owners decline protection?

# SAFETY UNIT'S FEEDBACK

## Timing

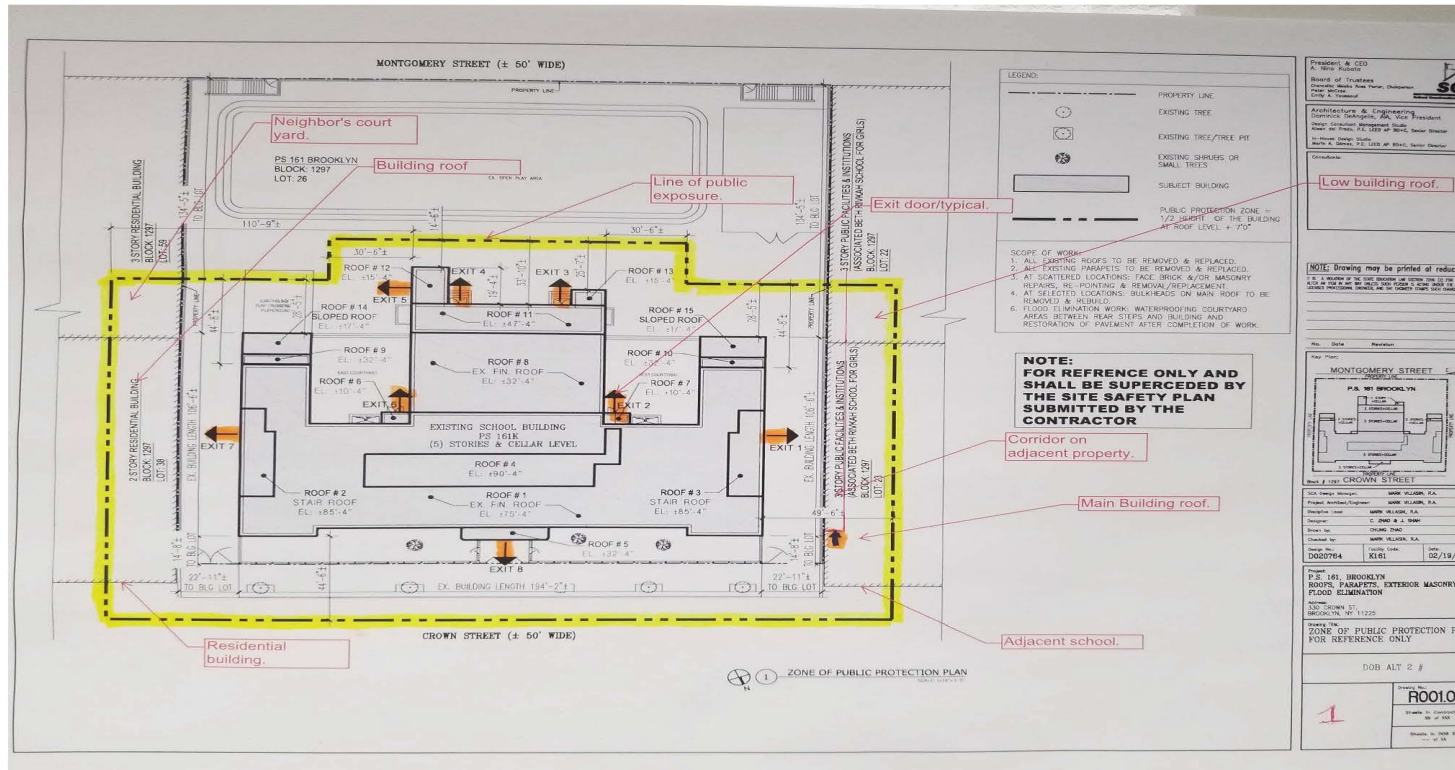
Within **ONE WEEK** after site visit

## Content

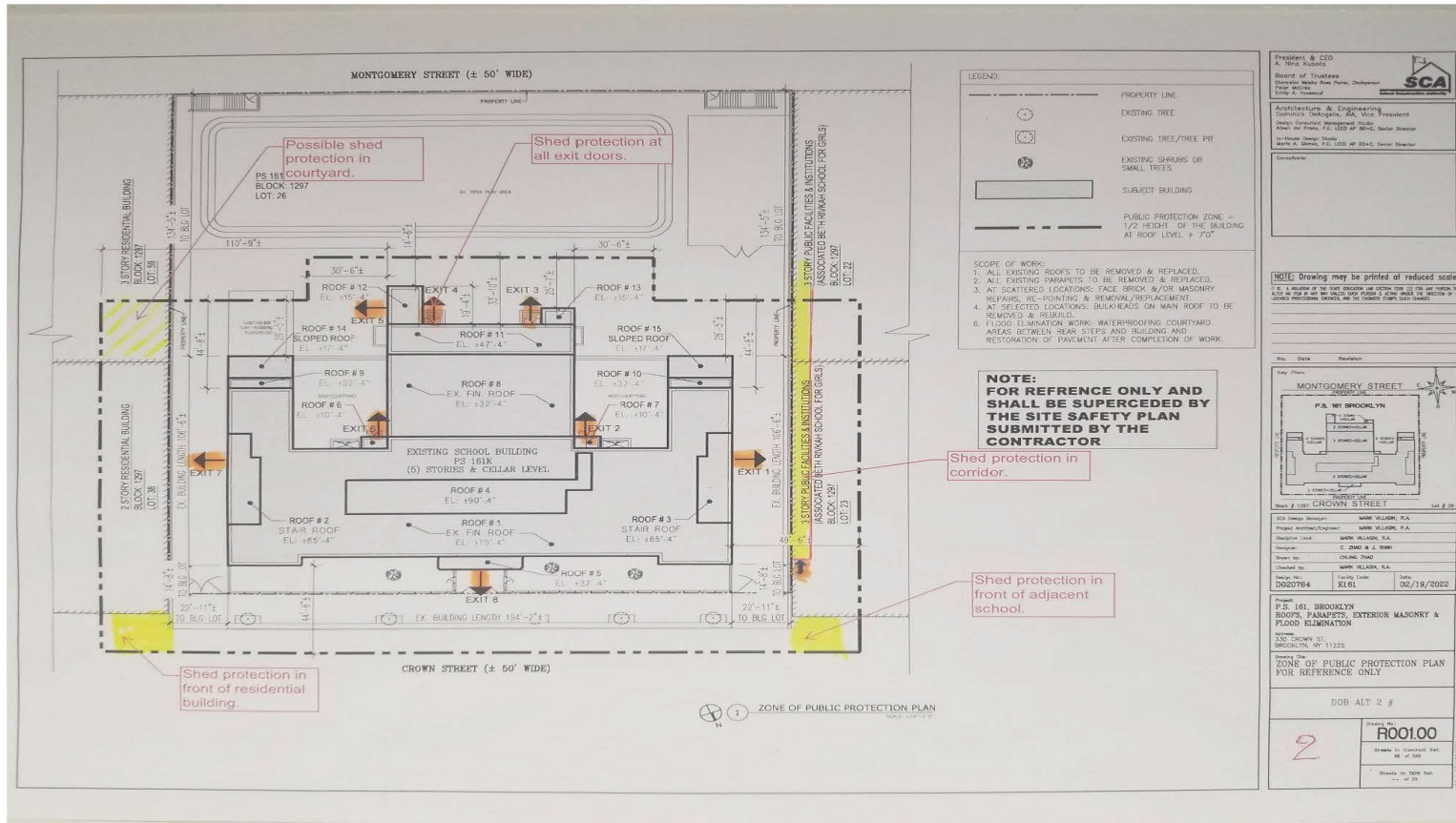
- Safety Unit Sketches on ZPPP all required protections for adjoining properties, including dimensions (*e.g.*, A' x B' for roof protection, C' x D' for rear yard etc.) with a legend.
- Compare ZPPP to ensure that it accurately reflects actual conditions at adjoining properties (*e.g.*, exits, skylights, etc.) to be considered when identifying scope and type of protections needed for adjoining properties.
- Determine if the project can be phased to minimize duration of protections on adjoining properties?
- State whether alternate means of protection is feasible if adjoining property owners decline protection?

# EXAMPLES OF SKETCHES BY SAFETY UNIT

# Line of Exposure



# Shed Protection-Adjacent Properties





# REVISION BY A&E

## Timing

Within **ONE WEEK** after receiving markup from Safety & CM

### **A&E shall do the following**

- Revise ZPPP to add all information per Safety's sketch(es) and CM comments
- To be marked **“FOR REFERENCE ONLY AND SHALL BE SUPERCEDED BY THE CONTRACTOR'S DOB-APPROVED SAFETY PLAN”** and included as a Reference Drawing in bid set

ROOF PROTECTION TO BE PROVIDED.

ROOF PROTECTION TO BE PROVIDED ON ROOF AT THIS LOCATION.

LEGEND:

President & CEO  
A. Nino Kubota  
Board of Trustees



ROOF PROTECTION TO BE PROVIDED.  
SIDEWALK SHED PROTECTION TO BE PROVIDED IN NEIGHBOR'S YARD.

ROOF PROTECTION TO BE PROVIDED ON ROOF AT THIS LOCATION.  
SIDEWALK SHED PROTECTION TO BE PROVIDED IN NEIGHBOR'S WALKWAY.

LEGEND:

- PROPERTY LINE
- EXISTING TREE
- EXISTING TREE/TREE PIT
- EXISTING SHRUBS OR SMALL TREES
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- PUBLIC PROTECTION ZONE = 1/2 HEIGHT OF THE BUILDING AT ROOF LEVEL + 7'
- SHED PROTECTION
- ROOF PROTECTION

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Dominick DeAngelis, AIA, Vice President  
Design Consultant Management Studio  
Allen del Prado, P.E. LEED AP BD+C, Senior Director  
In-House Design Studio  
Mark A. Glavin, P.E. LEED AP BD+C, Senior Director

Consultants:

NOTE: Drawing may be printed at reduced scale. It is a violation of the STATE ENGINEERING LAW SECTION 2301 (2) FOR ANY PERSON AFTER AN IDEA IN ANY WAY UNLESS SUCH PERSON IS ACTING UNDER THE DIRECTION OF LICENSED PROFESSIONAL ENGINEER, AND THE ENGINEER CANNOT SIGN CHANGES.

No. Date Revision

Key Plan:



SCA Design Manager:	MARK VILLAGR, R.A.	
Project Architect/Engineer:	MARK VILLAGR, R.A.	
Discipline Lead:	MARK VILLAGR, R.A.	
Designer:	C. ZHANG & J. SHWY	
Drawn by:	CHANG ZHANG	
Checked by:	MARK VILLAGR, R.A.	
Design No.:	Family Code:	Date:
D020764	K161	02/19/2022

Project:  
P.S. 161, BROOKLYN  
ROOFS, PARAPETS, EXTERIOR MASONRY &  
FLOOD ELIMINATION

Address:  
330 CROWN ST.  
BROOKLYN, NY 11225

Drawing Title:  
ZONE OF PUBLIC PROTECTION PLAN  
FOR REFERENCE ONLY

DOB ALT 2 # B00682790

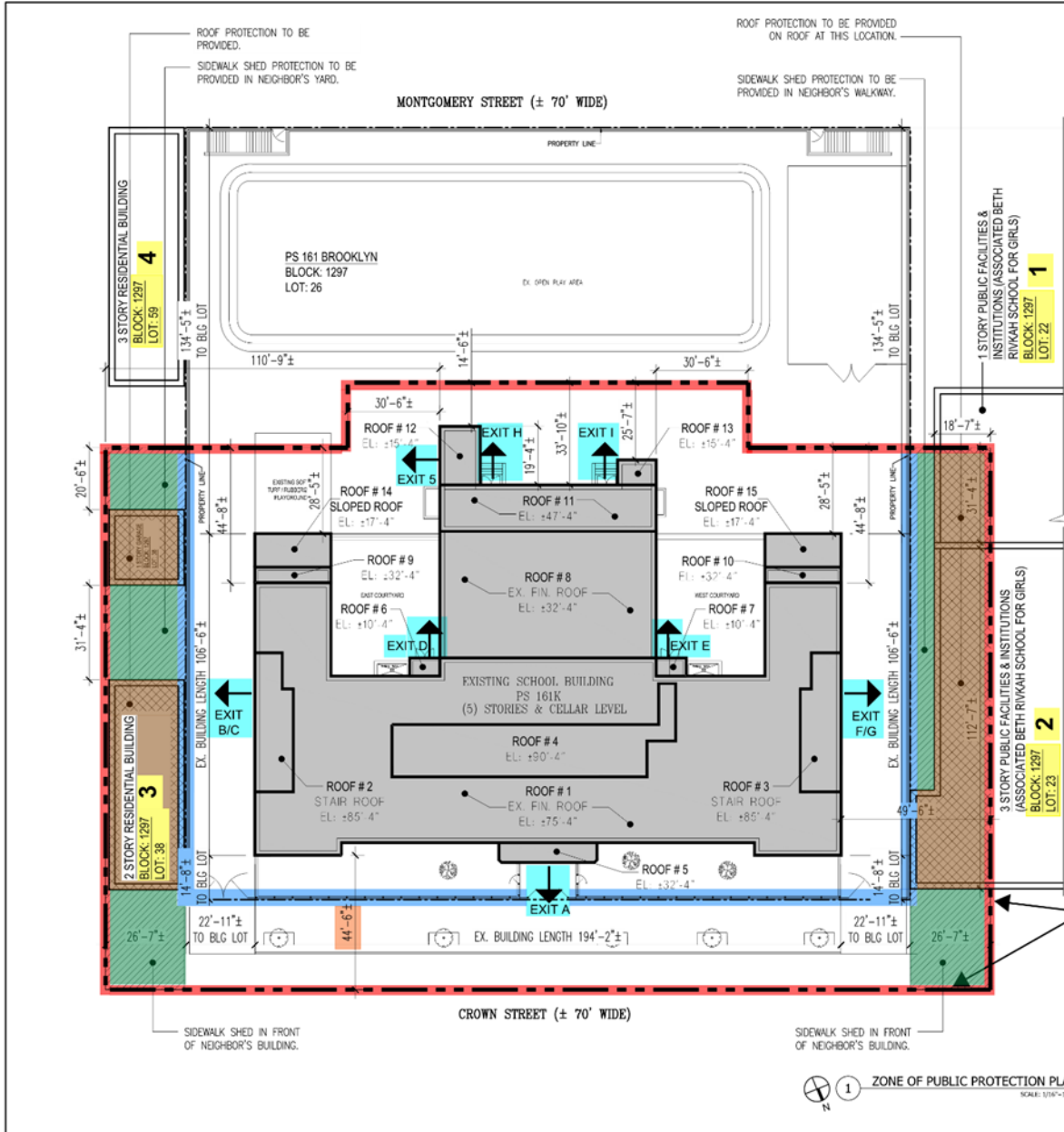
Drawing No.:	R001.00
Sheets in Contract Set:	102 of 131
Sheets in DOB Set:	- of -

- SCOPE OF WORK:
1. ALL EXISTING ROOFS TO BE REMOVED & REPLACED.
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  3. AT SCATTERED LOCATIONS: FACE BRICK &/OR MASONRY REPAIRS, RE-POINTING & REMOVAL/REPLACEMENT.
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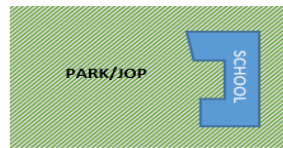
LINE OF EXPOSURE (H/2 + 7')



ZONE OF PUBLIC PROTECTION PLAN  
SCALE: 1/8\"/>

# PROJECTS INVOLVING THE PARKS DEPARTMENT

Three Project Types involving Parks



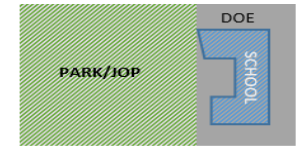
1.  
Work on Parks or JOP  
ex. Playground redevelopment, Additions, RPZs

Requires Parks Design Approval



2.  
Work on School where entire site is JOP  
ex. Exterior modification

Parks Agreement during Design Phase (for construction and tree work permits)



3.  
Work impacts Parks/JOP, where Parks/JOP is neighbor  
ex. protections, staging

Parks Agreement during Design Phase (for construction and tree work permits)

On getting **Parks Agreement**

1. A+E prepares ZPPP and engages IAC if ZPPP is not available (i.e. RPZs):
  - CIP at onset of Scope Phase
  - Capacity at onset of 30% (DD) phase
2. Site Visit with CM, Safety to verify ZPPP
3. A+E to revise Public Protection Plan per Safety's sketch
4. A+E to submit revised ZPPP to Interagency Coordination
5. IAC to coordinate meeting between Parks and CM as needed
6. A+E to incorporate Parks' comment and feedback as needed in final ZPPP

Interagency Coordination Contacts:

- Lin Zeng ([lzeng@nycsca.org](mailto:lzeng@nycsca.org))
- Kim Riedlinger ([kriedlinger@nycsca.org](mailto:kriedlinger@nycsca.org))
- Fendi Linan ([flinan@nycsca.org](mailto:flinan@nycsca.org))

# EA SUBMITS CHECKLIST WITH FINAL/APPROVED ZPP AND LEGAL DEPARTMENT BEGINS THE PROCESS OF GAINING ACCESS TO INSTALL PROTECTIVE MEASURES

## THREE POSSIBLE SCENARIOS

### 1. LICENSE AGREEMENTS

- After the A&E/CM/Safety site meeting and after receipt of a Checklist with Final/Approved ZPP, the Legal Department will draft license agreements and begin negotiations with adjoining property owner(s).
- Legal Department will obtain certificates of insurance (“COI”), obtain contract number for license agreement, ensure that all payees are registered, and submit funding obligation/payment memos to Finance.
- The fully-executed license agreement and COI will be circulated to CM and EA.
- ***CM must keep track of the end date of license agreements.*** If an extension of the Term of any License Agreement is required, CM must notify Legal Department ***no less than 60 days*** prior to expiration of original term so that Legal Department can draft and negotiate extension amendment(s).

### 2. SECOND NOTICES PURSUANT TO BC 3309.1.1

- If EA has not received a response to the 60-Day Notice from adjoining property owner(s), the Legal Department will issue a second notice 45 days prior to date on which construction is/was projected to begin in accordance with BC 3309.1.1.
- If there is no response to the Second Notice **and** alternate means **are** available, the Legal Department will submit a memo in accordance with BC § § 3309.15, 3309.15.1 to BCC with a copy to CM and EA (*see next slide*).

### 3. Court ORDER (RPAPL 881 PROCEEDING)

If alternate means are **not** feasible **and** there has been no response to the any of the notices, the Legal Department will commence a proceeding to obtain a Court Order, **following consultation with CPO.** **NOTE:** It can take as long as 3 to 6 months to obtain such a Court Order and that is established by the Court.

# SAMPLE OF LEGAL DEPARTMENT BC § 3309.15.1 MEMO

## MEMORANDUM

TO: Robert Ras, Building Code Compliance  
FROM: Consuelo Alden Vasquez, Principal Attorney  
RE: P.S. 256(Q) / Block 16258, Lot 6  
Annex (Contract #C000080229/LLW #111720)  
DATE: May 10, 2022

I write to advise you of the status of our efforts to obtain license agreements from adjoining property owners to install protections in connection with the above-referenced project.

- 435 Beach 135<sup>th</sup> Street/Block 16258, Lot 23 (Hutton): I am advised by the External Affairs Manager, Danielle Schaaff, that during her discussions with Mr. Hutton, he declined access to his property to install protections. Mr. Hutton explained that the prescribed overhead protections would be unduly invasive and adversely affect his family's quality of life. I understand that the Huttons have three small children, one of whom has disabilities.
- 448 Beach 136<sup>th</sup> Street/Block 16258, Lot 66 (Krett): I am advised by Danielle Schaaff that she had a conversation with Mr. Krett in October of 2021, at which time he "was not open to overhead protections." In response to his request, the SCA provided drawings for his review. Since that time, Mr. Krett has been completely unresponsive.
- 444 Beach 136<sup>th</sup> Street/Block 16258, Lot 65 (Esposito): Declined protection in writing on the back of the 60-Day Notice.

Given the foregoing, it may be prudent to contemplate alternate means of protecting these adjoining properties, if available.

As always, I defer to you, Safety, and CM-Queens.

All backup documentation is maintained in the Legal Department's files. Please let me know if you have any questions or require further information from me.

cc: Jimmy Ahn  
Davendra Rajpal  
Danielle Schaaff  
Joseph Scalisi  
Gordon Tung

# Alternate Means of Protection

# ALTERNATE MEANS OF PROTECTION

## WHY?

If a neighbor does not agree with the protections as proposed by Safety Unit, Alternate Means of Protection may become necessary, if feasible. **(CCD1 by the Contractor no longer needed)**

In this case, Safety Unit sketches up the location(s) and A&E revises the plan accordingly.



MEMORANDUM from  
**Robert J. Ras, RA**  
Director, Operations  
Building Code Compliance

August 2, 2022

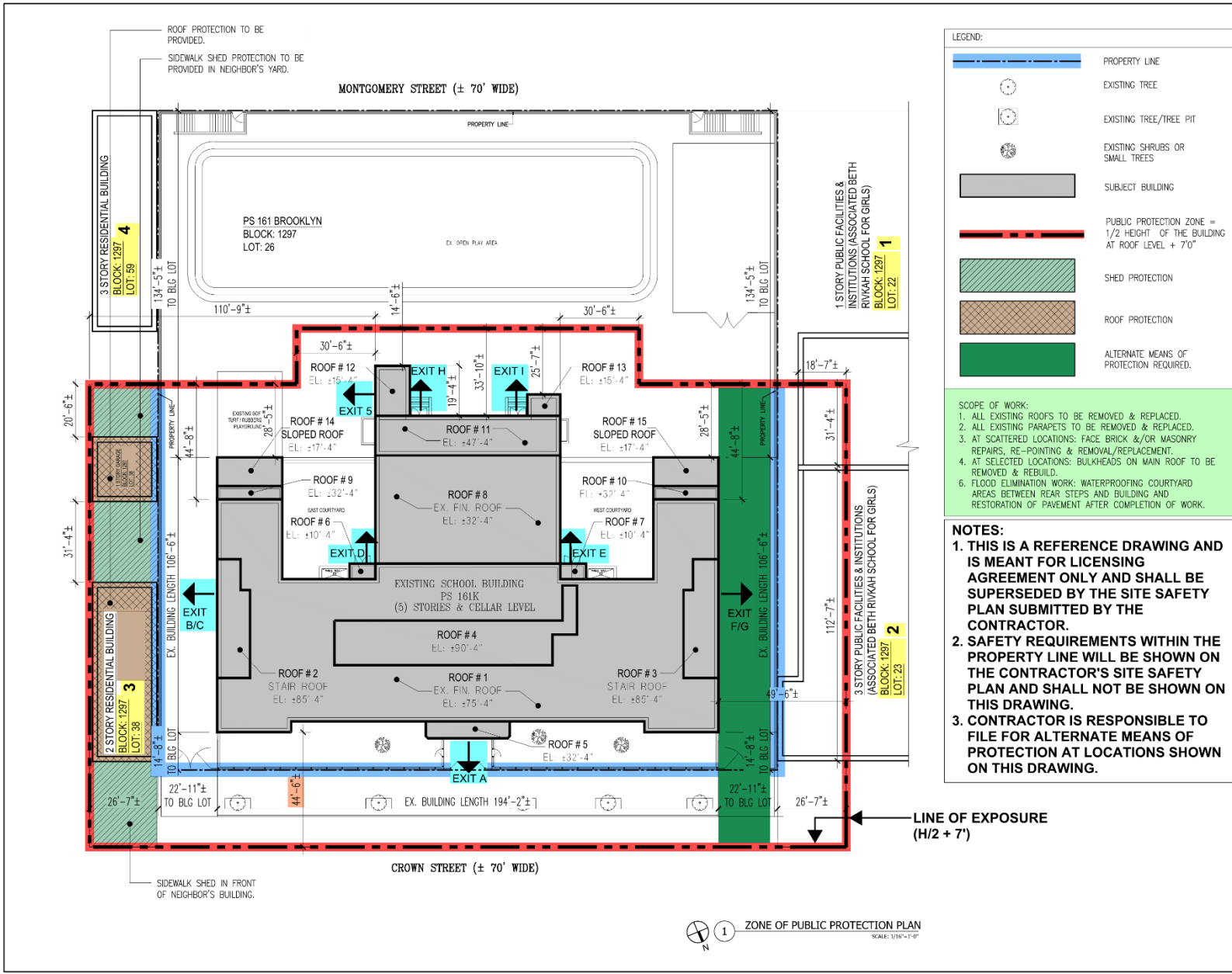
### B.C.C. OPERATIONAL GUIDELINE 2022-01

**To:** Plan Examiners  
**Re:** Alternate Public Protection

**Purpose:** To Make Alternate Public Protection Part of the EQ Examiner Review and Approval

**Effective:** Immediately

All requests for alternate protection shall be reviewed and approved by the BCC plan examiners as part of the **EQ filing without the need for CCD-1's** when the standards of BC 3309.15 are demonstrated on the plans. This includes sidewalk sheds, fences and scaffolding usage as well as industry standard roof barrier fencing either anchored at the perimeter or weighted on the roof interior.



**LEGEND:**

- PROPERTY LINE
- EXISTING TREE
- EXISTING TREE/TREE PIT
- EXISTING SHRUBS OR SMALL TREES
- SUBJECT BUILDING
- PUBLIC PROTECTION ZONE = 1/2 HEIGHT OF THE BUILDING AT ROOF LEVEL + 7'0"
- SHED PROTECTION
- ROOF PROTECTION
- ALTERNATE MEANS OF PROTECTION REQUIRED.

**SCOPE OF WORK:**

1. ALL EXISTING ROOFS TO BE REMOVED & REPLACED.
2. ALL EXISTING PARAPETS TO BE REMOVED & REPLACED.
3. AT SCATTERED LOCATIONS: FACE BRICK &/OR MASONRY REPAIRS, RE-POINTING & REMOVAL/REPLACEMENT.
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2. SAFETY REQUIREMENTS WITHIN THE PROPERTY LINE WILL BE SHOWN ON THE CONTRACTOR'S SITE SAFETY PLAN AND SHALL NOT BE SHOWN ON THIS DRAWING.
3. CONTRACTOR IS RESPONSIBLE TO FILE FOR ALTERNATE MEANS OF PROTECTION AT LOCATIONS SHOWN ON THIS DRAWING.

President & CEO  
A. Nino Kubota

Board of Trustees  
Chairman David C. Banks, Chairman  
Patricia McGee  
Emily A. Youssouf



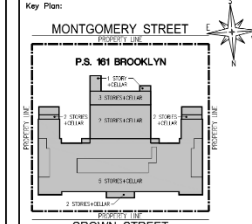
Architecture & Engineering  
Dominick DeAngelis, AIA, Vice President  
Design Consultant Management Studio  
Allen del Prado, P.E. LEED AP BD+C, Senior Director  
In-House Design Studio  
Marco A. Gomez, P.E. LEED AP BD+C, Senior Director

Consultants:

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IF IT IS A VIOLATION OF THE STATE ENGINEERING LAW SECTION 2301 (2) FOR ANY PERSON TO ALTER AN AREA IN ANY WAY UNLESS SUCH PERSON IS ACTING UNDER THE DIRECTION OF A LICENSED PROFESSIONAL ENGINEER, AND THE ENGINEER STAMPS SUCH CHANGES

No.	Date	Revision



SCA Design Manager:	MARK VILLASIN, R.A.
Project Architect/Engineer:	MARK VILLASIN, R.A.
Discipline Lead:	MARK VILLASIN, R.A.
Designer:	C. ZHAO & J. SHAN
Drawn by:	CHUNG ZHAO
Checked by:	MARK VILLASIN, R.A.
Design No.:	D020764
Facility Code:	K161
Date:	02/19/2022

Project:  
P.S. 161, BROOKLYN  
ROOFS, PARAPETS, EXTERIOR MASONRY & FLOOD ELIMINATION

Address:  
333 CROWN ST.  
BROOKLYN, NY 11225

Drawing Title:  
ZONE OF PUBLIC PROTECTION PLAN FOR REFERENCE ONLY

DOB ALT 2 # B00682790

Drawing No.:	<b>R001.00</b>
Sheets in Contract Set:	102 of 131
Sheets in DOB Set:	- of -

# WORK TYPES

## Work Type Acronyms

**BL:** Boiler  
**CC:** Curb Cut  
**CH:** Chute  
**DM:** Demolition and Remov  
**EQ:** Construction Equipmer  
**EW:** Equipment Work  
**FA:** Fire Alarm  
**FB:** Fuel Burning  
**FN:** Fence  
**FP:** Fire Suppression  
**FS:** Fuel Storage  
**MH:** Mechanical/HVAC  
**OT:** Other  
**PL:** Plumbing  
**SD:** Standpipe  
**SF:** Scaffold  
**SG:** Sign  
**SP:** Sprinkler

“Construction Equipment applications are usually filed for various on-site equipment installations to safeguard and protect construction workers, the general public and neighboring properties during the construction process, for use in moving materials and personnel, or for use during construction operations.”

